

CBRE

KABAM GAME CHANGING PROJECT MANAGEMENT SERVICES

October 9, 2019

Efficient space utilization

Talent retention

Maintaining open communication

Modern, fun and comfortable design

105,000 sq. ft.

Being mindful of employee feedback

7 floors

Collaborative and productive environment

600 employees

Team building and socializing

Creating positive synergies

Open-concept

A space that reflects your company culture

KABAM

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MULTIPLAYER

Getting to know YOU

1. What do you think makes your current team dynamic so effective?

EXPERIENCE WITH PERKINS & WILL

A collaborative approach to bringing a new workplace strategy to life.



Perkins&Will

28,000 SF

CBRE Western Region
Flagship Office

Vancouver, BC

Completed 2015

\$6M

EXPERIENCE WITH TURNER CONSTRUCTION



52,000 SF

CAPCOM

Gaming Studio
Tenant Improvement



120,000 SF

McKesson Medical Imaging

Office Tenant Improvement



200,000 SF

Telus Garden

Office Tenant Improvement



copperleaf

45,000 SF

Copperleaf Technologies

New Headquarters
Tenant Improvement

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HIDDEN GEMS

Getting to know YOU

1. Can you describe your biggest concern with cost management?

VALUE CREATION



ESTIMATED VALUE



\$395,000

FUSION Savings



**\$50,000 –
\$250,000**

Base Building Coordination



**Other
Values**

ESTIMATED VALUE



\$395,000

FUSION Savings

Lights (GE – Savings of 8% on a \$200,000 specialty lighting package – \$16,000)

Flooring (Shaw – Savings of \$1.5/SF – \$155,000)

Furniture (Haworth – Savings of 5% assuming \$32/SF cost – \$176,000)

Ceiling (Armstrong – Savings of 6% assuming 15,000SF of specialty feature ceilings – \$18,000)

HVAC/Generator (JCI – Savings of 12% on specialty HVAC and emergency back-up gen. – \$30,000)



**\$50,000 –
\$250,000**

Base Building Coordination



**Other
Values**

Specialized Expertise
(A/V, demountable walls, acoustics)

Risk Avoidance

Competitive Procurement

Schedule Adherence / Improvement

Limited Changes / Change
Pricing Scrutiny

AVERAGE CLIENT SAVINGS

CEILINGS	18%
LIGHTING	15%
FLOORING	17%
FURNITURE	12%
PAINT	11%

FUSION CBRE

Strategic Sourcing for Capital Expenditures

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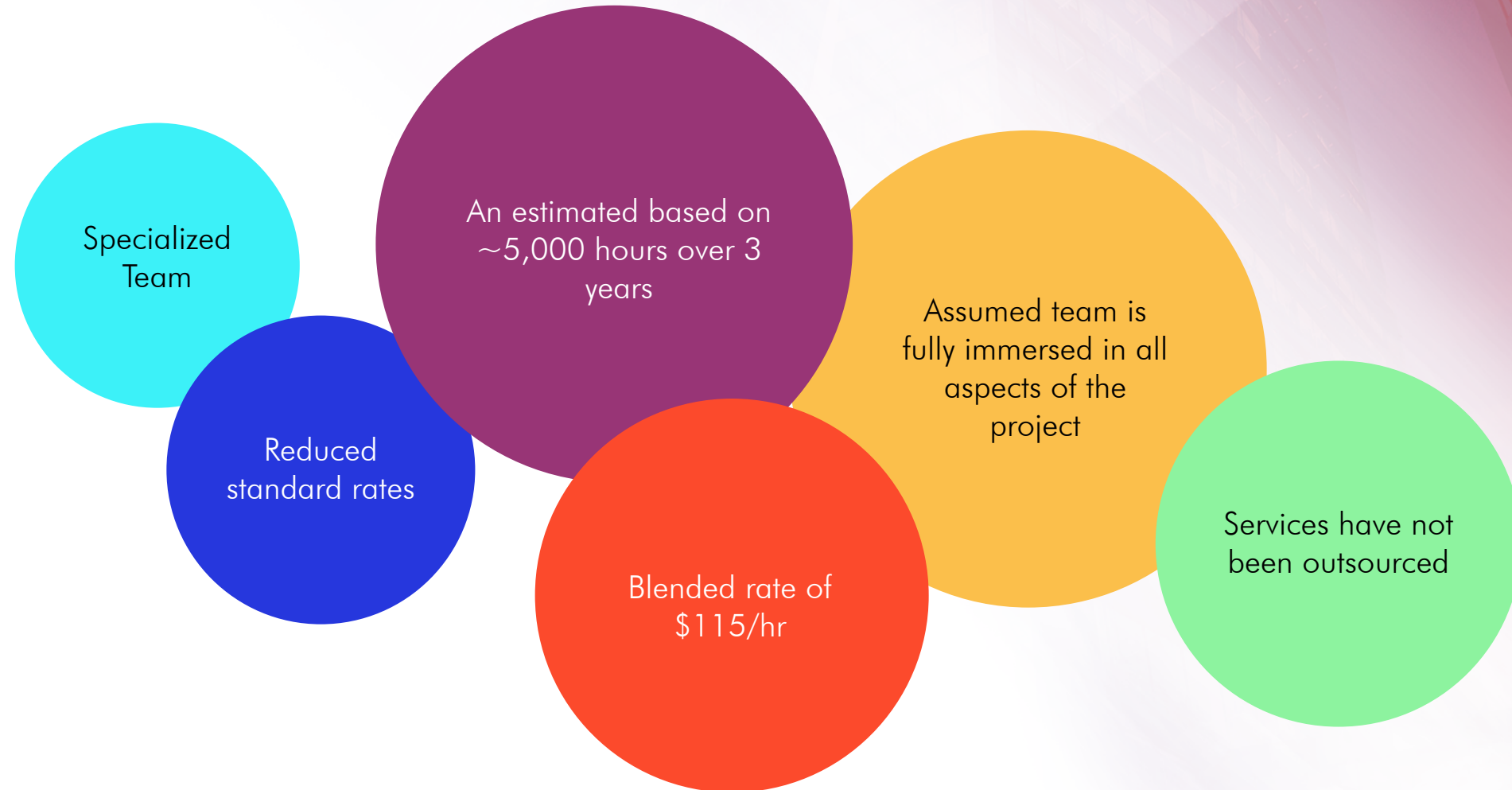


IN-APP PURCHASES

Getting to know YOU

1. Are the fees a key driver in your decision?

UNDERSTANDING OUR FEES



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BACK TO BASICS

Getting to know YOU

1. What is your relationship with the base building team like?

BASE BUILDING COORDINATION

Being the first tenant in a new build office tower comes with a unique set of challenges. With the right expertise, it can also be an opportunity to optimize your space.

REVIEW OF LEASE CONDITIONS

We undertake a detailed review of all requirements stipulated in the lease and prepare a summary of all the things the landlord is supposed to deliver. This summary is shared with the landlord well in advance of the handover to ensure they don't lose track of their obligations.

AS-BUILT DRAWINGS

Because things don't always go as planned, we ensure we collect drawings from the LL that reflect how things were actually built, versus how they were designed. These "as-built" drawings ensure that things are exactly where we expect them to be when we start construction.

LEAK TEST RESULTS

Things leak, but they don't have to. We request leak test results for plumbing, drains, gas pipes, etc.

DUCTWORK

No one likes breathing dust, so we make sure that the landlord has kept their ductwork sealed and free of dust. We conduct a white-glove inspection of the ductwork to ensure it doesn't look like the inside of a vacuum cleaning.

INTERCONNECTING STAIR

Coordinating a slab opening before the slab is poured is of critical importance and requires strong collaboration between Kabam's team and the landlord's team. We lead this exercise and ensure it is done properly while controlling the landlord's costs to do so.



HVAC OPERATION

We ensure the system is not only installed but also fully functional and commissioned. We request proof from the landlord of start-up and commissioning reports.

CEILING TILES

If the landlord is supplying ceiling tiles, we ensure they meet the acoustic performance specifications set out in the lease.

LIGHT FIXTURES

We ensure light fixtures are supplied or installed. If supplied only, we ensure they are inspected early for deficiencies. If installed, we ensure they are in working condition with functioning lighting controls, and protection from dust.

HVAC UNIT LOCATIONS

There's no point in wasting money moving HVAC units after handover if we can have the landlord install them correctly the first time. We coordinate locations of these units before they are installed to avoid loud HVAC systems being in the sensitive areas like a boardroom or private office.

WINDOW SHADES

We make sure these actually work and are protected from dust.

DEMISING WALLS

We verify the demising walls separating common areas from Kabam's premises will meet the fire and smoke separation requirements so this doesn't become a showstopper when it's time for you to move in.

SLAB

Floor slabs are the foundation of everything we build so it is essential for them to be level. We ensure a levelling test is done to validate that lease requirements.

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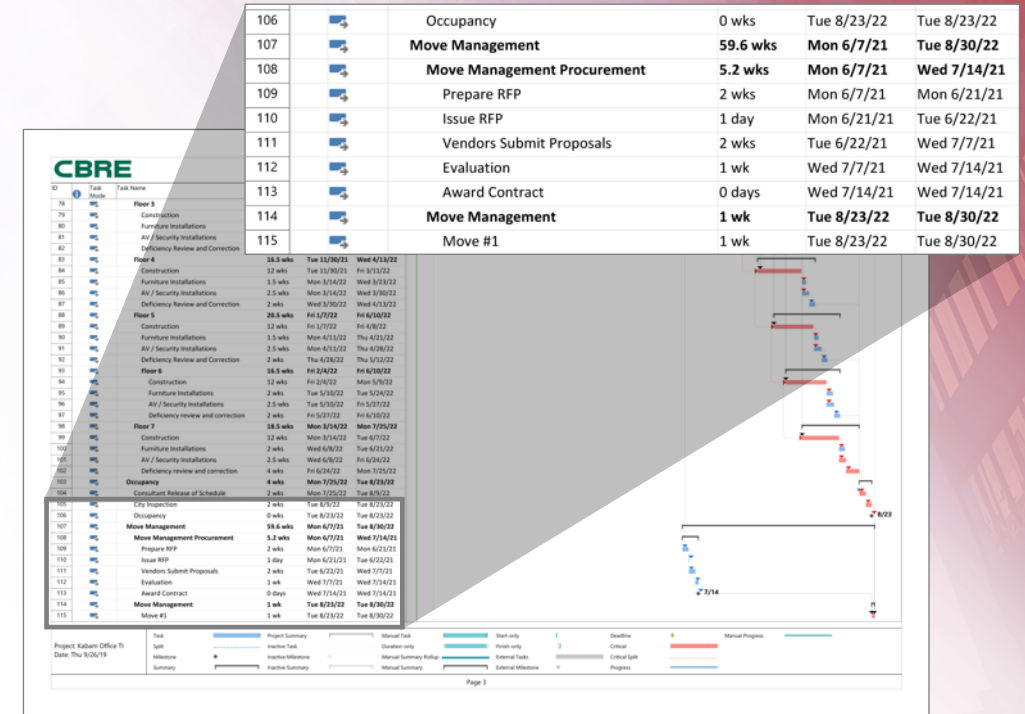


BUTTERFLY EFFECT

Getting to know YOU

1. What experience do you want your employees to have on day 1 in the new office?

CONTROLLED PROCESS: BUSINESS TRANSITION & MOVE MANAGEMENT



A low-angle photograph of a modern glass skyscraper, likely the Freedom Tower, reaching towards the sky. The image is overlaid with a gradient from blue on the left to red on the right. The building's facade is composed of many windows, some of which are visible through the glass. The overall composition is clean and professional.

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Thank you!